

154.0

0003

0017.0

Map

Block

Lot

1 of 1
CARDResidential
ARLINGTON

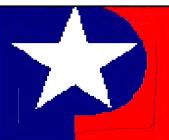
Total Card / Total Parcel

1,195,300 / 1,195,300

APPRAISED: 1,195,300 / 1,195,300

USE VALUE: 1,195,300 / 1,195,300

ASSESSED: 1,195,300 / 1,195,300


Patriot
Properties Inc.
PROPERTY LOCATION

No	Alt No	Direction/Street/City
33		GLENBURN RD, ARLINGTON

OWNERSHIP

Owner 1:	MELK ROBERT LOUIS	Unit #:	
Owner 2:			
Owner 3:			

Street 1: 33 GLENBURN RD

Street 2:

Twn/City: ARLINGTON

St/Prov: MA	Cntry:		Own Occ: Y
Postal: 02476		Type:	

PREVIOUS OWNER

Owner 1:	CARNEY JOHN A -
Owner 2:	-

Street 1: 98 RICHFIELD ROAD

Twn/City: ARLINGTON

St/Prov: MA	Cntry:		
Postal: 02474			

NARRATIVE DESCRIPTION

This parcel contains 5,000 Sq. Ft. of land mainly classified as One Family with a Colonial Building built about 1921, having primarily Clapboard Exterior and 4500 Square Feet, with 1 Unit, 1 Bath, 2 3/4 Baths, 1 HalfBath, 5 Rooms, and 2 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z	R1	SINGLE FA	100	water		
o				Sewer		
n				Electri		
		Census:		Exempt		
		Flood Haz:				
D				Topo	1	Level
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / PriceUnits	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Influ	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes
101	One Family		5000		Sq. Ft.	Site		0	80.	1.14	9									456,000						456,000	

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value	Legal Description	User Acct
101	5000.000	737,000	2,300	456,000	1,195,300		102739
							GIS Ref
							GIS Ref
							Insp Date
							08/14/20

PREVIOUS ASSESSMENT								Parcel ID	154.0-0003-0017.0	Date
Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	
2020	101	FV	165,300	2300	5,000.	456,000	623,600	623,600	Year End Roll	12/18/2019
2019	101	FV	153,600	2300	5,000.	427,500	583,400	583,400	Year End Roll	1/3/2019
2018	101	FV	153,600	2300	5,000.	353,400	509,300	509,300	Year End Roll	12/20/2017
2017	101	FV	153,600	2300	5,000.	324,900	480,800	480,800	Year End Roll	1/3/2017
2016	101	FV	153,600	2300	5,000.	296,400	452,300	452,300	Year End	1/4/2016
2015	101	FV	135,400	2300	5,000.	290,700	428,400	428,400	Year End Roll	12/11/2014
2014	101	FV	135,400	2300	5,000.	270,200	407,900	407,900	Year End Roll	12/16/2013
2013	101	FV	135,400	2300	5,000.	257,100	394,800	394,800		12/13/2012

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
CARNEY JOHN A,	75723-397	1	9/25/2020		1,500,000	No	No		
GREABLE WILLIAM	73844-359	1	12/18/2019	Change>Sale	575,000	No	No		
PIGOTTJOHN/JAME	47164-224		3/27/2006		430,000	No	No		
BRAUN ALICE M/J	46062-472		9/9/2005	Estate/Div	330,000	No	No		
BRAUN WALTER J	43827-38		10/1/2004	Family		1	No	No	
	13783-652		9/7/1979	Family		No	No	N	

Date	Number	Descrip	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment	Date	Result	By	Name
5/19/2020	540	Heat App	15,000	C					11/19/2020	SQ Mailed	MM	Mary M
1/14/2020	103	Addition	140,000	O					8/14/2020	Measured	DGM	D Mann
11/10/2015	1746	Manual	2,700						7/7/2020	Permit Visit	DGM	D Mann
9/28/1992	479	Manual	3,900					REPAIR PORCH-WINDO	1/23/2020	SQ Mailed	JO	Jenny O
									6/27/2018	TTL REFUSAL	HS	Hanne S
									11/14/2008	Meas/Inspect	355	PATRIOT
									12/16/1999	Mailer Sent		
									11/24/1999	Measured	270	PATRIOT
									1/1/1982		CM	

Sign: VERIFICATION OF VISIT NOT DATA _____

EXTERIOR INFORMATION				BATH FEATURES				COMMENTS				SKETCH					
Type: 6 - Colonial	Sty Ht: 2T - 2 & 3/4 Sty	(Liv) Units: 1	Total: 1	Full Bath: 1	Rating: Average	A Bath:	Rating:	OF=SINK IN BMT..				WDK 11	10	11	4		
Foundation: 3 - BrickorStone	Frame: 1 - Wood	Prime Wall: 2 - Clapboard	Sec Wall:	3/4 Bath: 2	Rating: Average	A 3QBth:	Rating:	1/2 Bath: 1	Rating: Average	A HBth:	Rating:	OthrFix:	Rating:				
Roof Struct: 1 - Gable	Roof Cover: 1 - Asphalt Shgl	Color: BLUE	View / Desir:	Kits: 1	Rating: Average	A Kits:	Rating:	Fpl:	Rating:	WSFlue:	Rating:						
GENERAL INFORMATION				OTHER FEATURES				RESIDENTIAL GRID									
Grade: B+ - Good (+)	Year Blt: 1921	Eff Yr Blt: 2020	Alt LUC:	Location:	Total Units:	Level:	FY LR DR D K FR RR BR FB HB L O	1st Res Grid Desc: Line 1 # Units: 1				WDK	13	SFL	FFL		
Jurisdct: G21	Fact: .	Const Mod:	Lump Sum Adj:	Total Units:	Floor:	Other		Upper		Lvl 2		GAR	3 TQS	25			
				Name:	% Own:	Lvl 1				Lvl 1		SFL	FFL	BMT			
INTERIOR INFORMATION				DEPRECIATION				REMODELING				RES BREAKDOWN					
Avg Ht/FL: STD	Prim Int Wall: 2 - Plaster	Sec Int Wall:	Partition: T - Typical	Phys Cond: AV - Average	1.0 %	Functional:	%	Exterior:	No Unit	RMS	BRS	FL	Interior:	1	5	2	
				Economic:	%	Special:	NC - New Cons't										
				Override:	%												
				Total:	15.85 %												
CALC SUMMARY				COMPARABLE SALES													
Bsmnt Flr: 12 - Concrete	Subfloor:	Bsmnt Gar: 1	Electric: 3 - Typical	Basic \$ / SQ: 125.00	Size Adj.: 0.93571424	Const Adj.: 0.99989998	Adj \$ / SQ: 116.953	Rate	Parcel ID	Typ	Date	Sale Price					
Insulation: 2 - Typical	Int vs Ext: S	Heat Fuel: 2 - Gas	Heat Type: 15 - H.V.A.C	Other Features: 98027	Grade Factor: 1.46	NBHD Inf: 1.00000000	NBHD Mod:										
# Heat Sys: 1	% Heated: 50	% AC: 100	Solar HW: NO	LUC Factor: 1.00	Adj Total: 875768	Depreciation: 138809	WtAv\$/SQ:	AvRate:	Ind.Val	Juris. Factor: 1.00	Before Depr: 170.75	Final Total: 737000	Val/Su Net: 132.53				
% Com Wall	% Sprinkled:									Special Features: 0	Val/Su SzAd: 200.54						
MOBILE HOME				Make:	Model:	Serial #:	Year:	Color:									
SPEC FEATURES/YARD ITEMS				PARCEL ID 154.0-0003-0017.0													
Code	Description	A	Y/S	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	JCod JFact	Juris. Value
3	Garage	D	Y	1	14X18	A	PR	1960	24.92	T	64	101			2,300		2,300
More: N	Total Yard Items:	2,300	Total Special Features:												Total:	2,300	
IMAGE																	
AssessPro Patriot Properties, Inc																	